

## **APPENDIX L**

### **BASE ARCHITECTURAL COMPATIBILITY STANDARD**

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## **1.0 EXECUTIVE SUMMARY**

"The intention is not to limit creativity, but to aid the designer in reaching decisions consistent with the goal of this program and to create a unified AFMC image."

AFMC Facility Quality Program (1996)

### **1.1 INTRODUCTION**

- In accordance with the goals of the AFMC Facility Quality Program, Robins AFB has developed the following Architectural Compatibility Standards to ensure consistency in future design and construction projects.
- This plan is not intended to stifle creativity, nor does it advocate "cookbook" architecture. It simply communicates and illustrates current design standards which will unify and strengthen the architectural fabric of Robins Air Force Base (RAFB) and the Warner Robins Air Logistics Center (WR-ALC). Exterior standards apply to all organizations on base including hosted units, AAFES, Commissary, and commercial organizations.

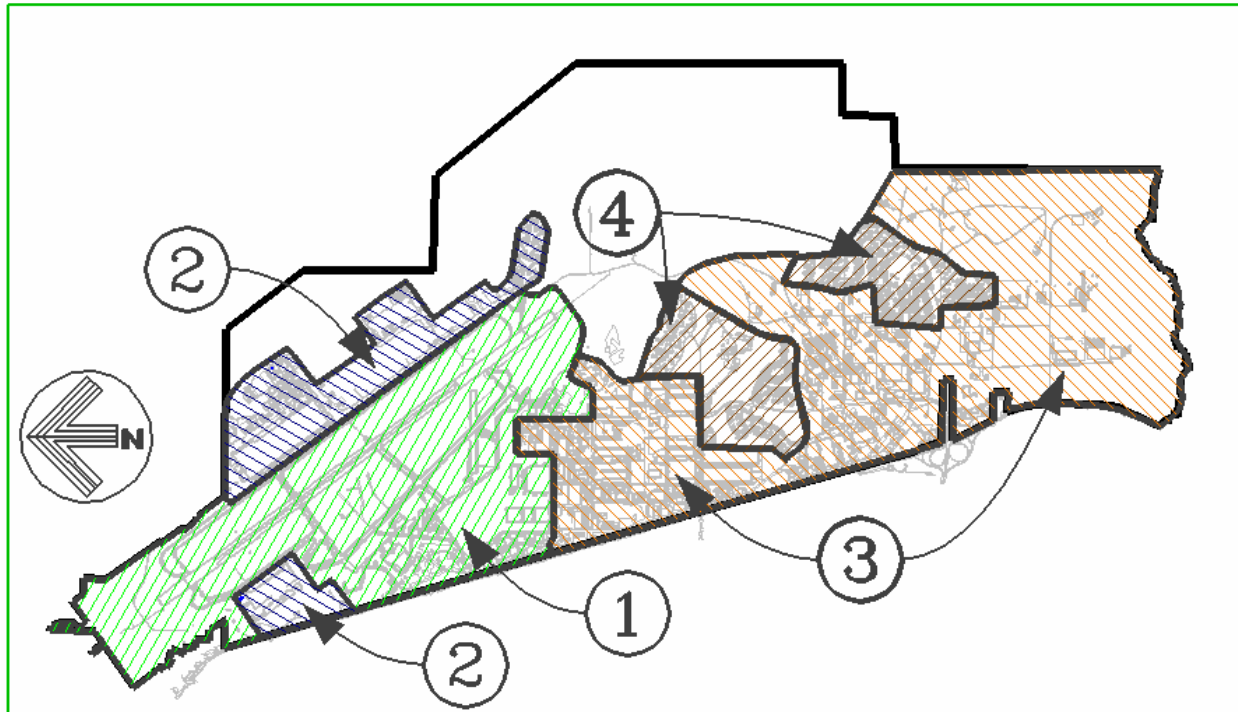
### **1.2 How to Use This Document**

- Critical elements of this plan are identified in the table of contents. Specific compatibility standards and illustrations are included on the pages that follow. Also, more detailed reference documents are listed at the end of this document. This planning document is intended to be a useful reference tool to ensure architectural compatibility in all future maintenance and repair and construction projects.

### **1.3 Architectural Compatibility Manager**

- 78 CEG/CE has assigned a Base Architectural Compatibility Manager in accordance with the goals and directives of the AFMC Facility Quality Program. The compatibility manager is responsible for ensuring that all facility projects are compatible with the standards set forth in this document.
- The Architectural Compatibility Manager is responsible for maintaining and updating this plan.

## 2.0 Architectural Districts



*For Purposes of this plan, Robins AFB has been divided into four Architectural Districts which identify specific areas where compatibility with adjacent facilities shall be stressed. Some architectural issues, such as paint and signage, do not vary from district to district and become unifying elements in the base master plan. The four Architectural Districts are summarized below and described in further detail on the pages that follow.*

- **District 1 - Industrial Flightline**

This district is best described as the secure area which defines the active flightline excluding District 2. A great majority of the facilities are metal hangars with secondary maintenance and administrative facilities constructed of concrete block.

- **District 2 - Operational Flightline**

District 2 is the remaining portion of the secure flightline located to the east and west of the runway. A majority of the facilities in this district will be brick with bronze standing seam metal roofs.

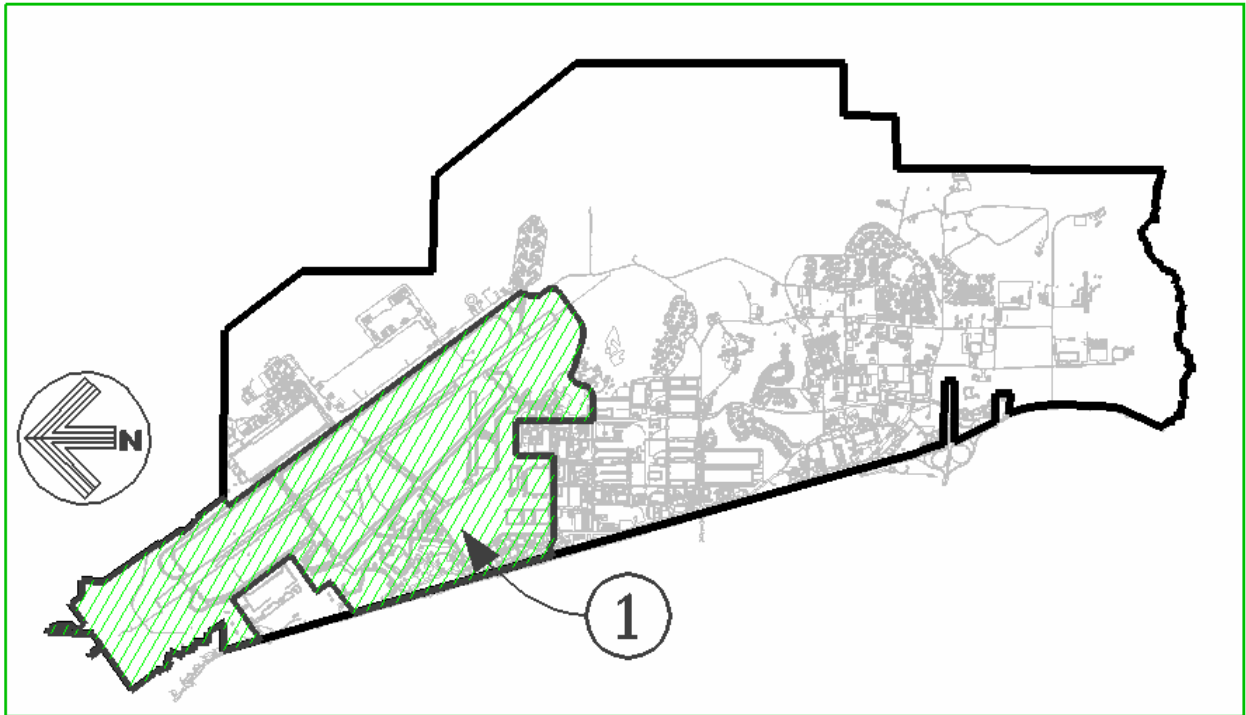
- **District 3 - Administrative/Industrial**

This district identifies all remaining facilities found throughout the base excluding the flightline and all family housing units.

- **District 4 - Housing**

District 4 is comprised of 807 Military Family Housing units found at various locations throughout the base.

## **DISTRICT 1 - Industrial Flightline**



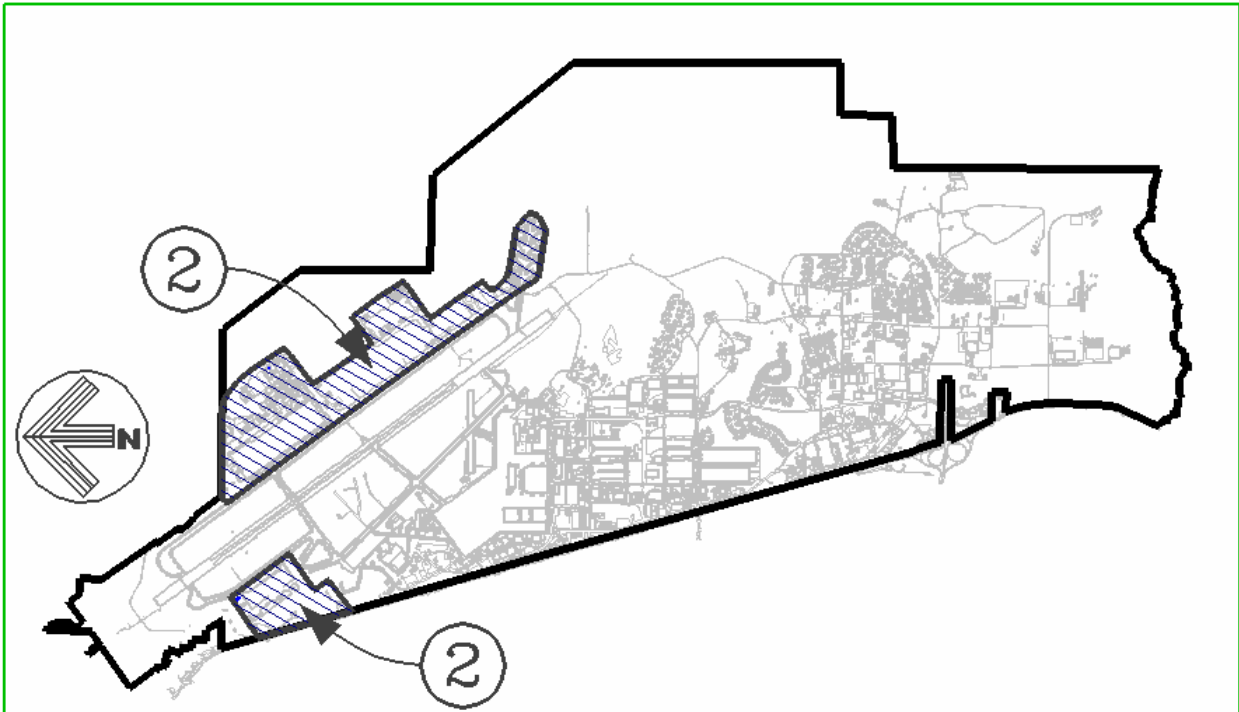
District 1 is best described as the secure area which defines the active flightline excluding District 2 to the east and west. A great majority of the facilities are large hangars to support the Programmed Depot Maintenance (PDM) of the F-15, C-130, and C-141 aircraft. Secondary maintenance and administrative facilities are also scattered throughout District 1.

### **2.1 Industrial Flightline**

- The Industrial Flightline District is dominated by large aircraft hangars with related ancillary buildings. In an industrial setting such as District 1, it is obvious that buildings such as hangars and maintenance shops can be unappealing built forms. Careful attention to massing and scale is critical in order to assure compatibility with existing facilities.
- Designers should carefully proportion the buildings' facades such that doorways, entries, windows, and other like elements maintain a human scale.
- Mechanical equipment should be screened from view and protected from vehicular traffic.
- The majority of District 1 facilities are metal skinned. Future construction projects will specify factory-painted metal finishes with a 20-year warranty, which are compatible with existing facilities and the color standards in Section 6.0.
- Avoid the use of brick. Use pre-finished metals or concrete block construction.

- Roof surfaces shall be compatible with the lighter-colored base color standards in order to reflect the heat.
- Building 125 serves as an excellent example upon which to build.

## District 2 - Operational Flightline



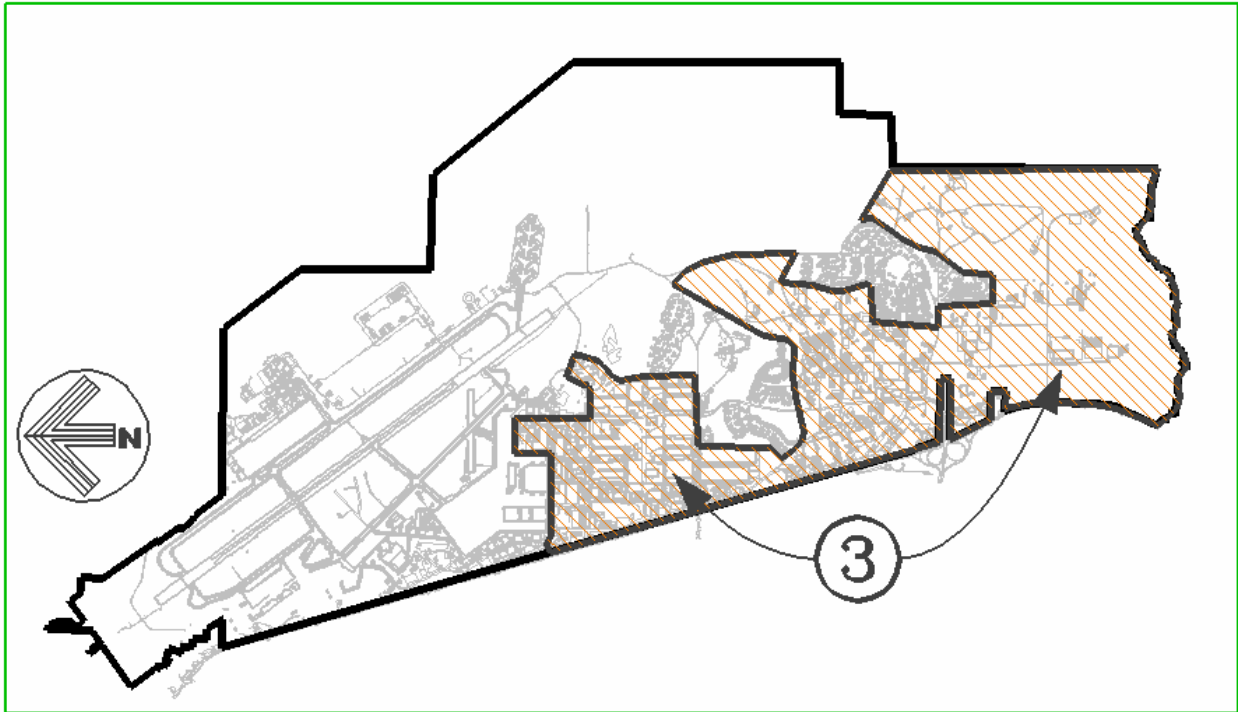
As illustrated above, District 2 is the remaining portion of the secure flightline located to the east and west of the active runway. It also includes the newer Air National Guard area. Compatibility within this district is based upon the Air Combat Command (ACC) Architectural and Landscape Design Standards which have been prepared and approved by both Robins AFB and ACC in an effort to define compatibility standards for the new construction supporting the completed Joint STARS mission beddown. These standards were also followed in the recently completed ANG beddown.

### 2.2 Operational Flightline

- A majority of the facilities within District 2 will be brick with bronze standing seam metal roofs in compliance with the architectural standards of the Joint STARS and Air National Guard mission beddowns. Existing administrative and maintenance facilities are predominantly constructed of concrete block and painted to match the base color scheme. Several metal hangars and other industrial facilities are also found in District 2.
- Every effort shall be made to coordinate new construction or maintenance and repair projects with the design standards prepared for the Joint STARS mission beddown. Brick shall be the architectural finish of choice for all administrative facilities. Hangars shall be prefinished metals consistent with the base color standards found in Section 6.0 or a combination of brick and metal.



DISTRICT 3 - Administrative/Industrial

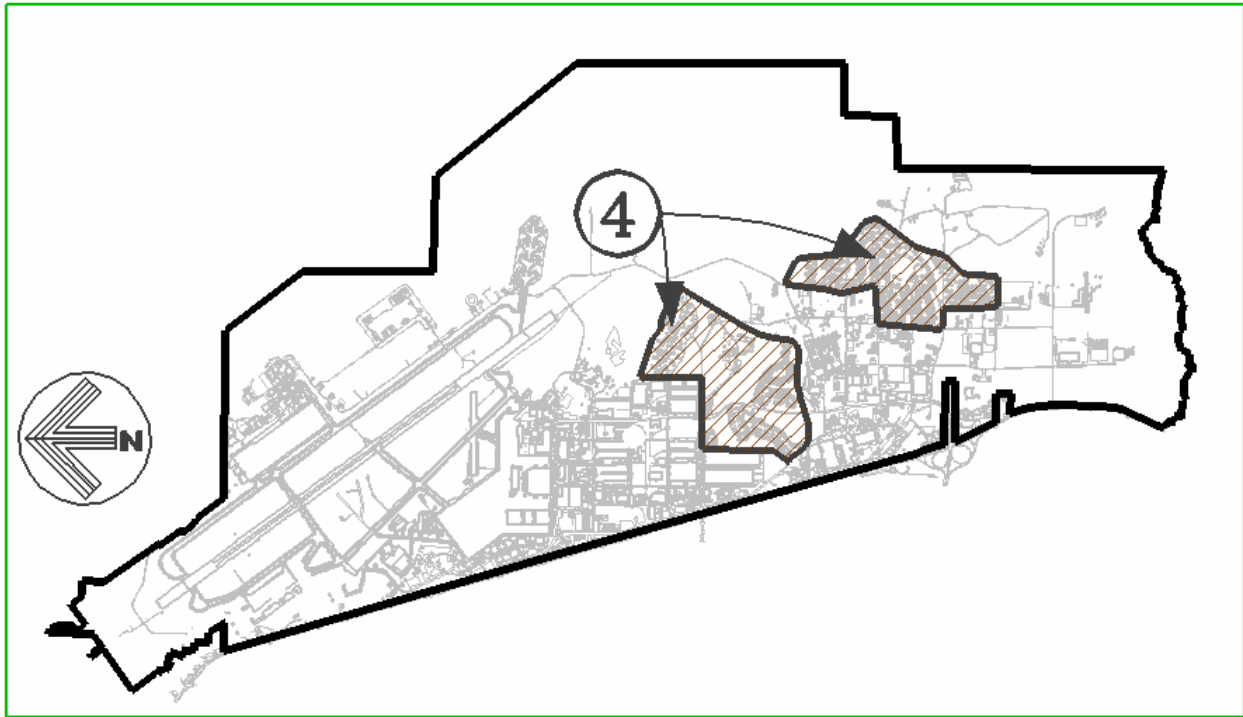


District 3 identifies the largest land use area on Robins AFB. This district identifies all remaining administrative and industrial facilities found throughout the base excluding the flightline and all family housing units. It is an assemblage of complex and unique operational and functional areas with irregular boundaries.

### 2.3 Administrative/Industrial

- District 3 is comprised of many facilities which have been constructed with a multitude of architectural finishes. Careful attention to compliance with the standard architectural materials and finishes defined in Section 6.0 is critical. Additionally, architects and engineers must pay careful attention to compatibility with existing materials used when designing projects where an existing condition must be considered.
- Landscaping and screening is also a critical element within District 3. Designers shall make every effort to provide visual barriers to undesirable elements through the means of masonry construction, fencing, and landscaping in accordance with the Robins AFB recommended plantings list.
- The Weapons System Support Center, B/301, is a 1992 Air Force Design Award winner and is a focal point for successful renovation of an existing facility. Similar projects should strive to emulate this quality of design while taking into consideration consistency with the Base Architectural Compatibility Standards.

#### **DISTRICT 4 - Housing**



District 4 is comprised of 807 military family housing (MFH) units found at various locations throughout the base.

#### **2.4 Housing**

- The various segments of District 4 are comprised of General Officers' Quarters (GOQ), Field Grade Officer Quarters, Company Grade Officer Quarters, and Enlisted military family housing units. These housing types are generally found in neighborhoods throughout the base.
- For the most part, MFH units are typically brick with trim painted in a variety of accent colors. All existing MFH facilities with non-white paint applications shall use the base paint standards found in Section 6.0 when future painting is required.
- Those military family housing units in District 4 that are considered historical, as well as those facilities near the Officers Club, will be painted white.

### **3.0 Historic Preservation**

*Robins AFB and the Air Force Materiel Command are dedicated to complying with all federal legislation pertaining to the preservation of historic facilities. Careful coordination between the base and the State Historic Preservation Officer (SHPO) is essential.*

#### **3.1 Aging Facilities**

- All facilities 50 years of more must be considered as candidates for the National Register of Historic Places.
- Examples of Robins AFB facilities considered for historic preservation are Building 220 (HQ AFRC), Building 110 (Base Ops), and Building 125 (Depot Maintenance Hangar), and all General Officers' Quarters (GOQs).

#### **3.2 Base Historic Preservation Officer (BHPO)**

- Environmental Management (WR-ALC/EM) is responsible for assigning an individual to coordinate all historic preservation issues with the State of Georgia, 78 CEG/CE, and all appropriate using agencies.
- All potential candidates for the National Register of Historic Places at Robins AFB shall be determined by the BHPO and approved by the SHPO.

#### **3.3 State Historic Preservation Officer (SHPO)**

- Throughout the state of Georgia, The State Historic Preservation Officer (SHPO) is responsible for validating candidates for the National Register of Historic Places. The SHPO is the sole authority in the approval of candidates for the National Register of Historic Places.
- Once a facility has been identified as a potential candidate, or actually placed on the National Register, all potential designs to maintain, repair, or alter the facility in any way whatsoever must be approved by the SHPO.
- Design documents for potential construction projects must be sent to the SHPO for approval. The state of Georgia has thirty days to approve or deny proposed construction projects.

#### **4.0 Handicapped Accessibility**

*Robins AFB is dedicated to providing adequate handicapped accessibility in all facilities basewide. All accessibility issues shall conform to the codes and guidance provided by the Uniform Federal Accessibility Standards (UFAS) or the Americans with Disabilities Act (ADA) which ever is more restrictive. Both maintenance and repair and new construction projects must be carefully reviewed to assure compliance with these standards.*

##### **4.1 Uniform Federal Accessibility Standards (UFAS)**

- The UFAS and the ADA are the applicable standards pertaining to handicapped accessibility in facilities at Robins AFB. The UFAS standardizes handicapped accessibility requirements in all DOD facilities.
- The UFAS and ADA documents present uniform standards for the design, construction, and alternation of buildings so that physically handicapped persons will have ready access to them and use of them.

##### **4.2 Maintenance and Repair**

- If existing elements, spaces, essential features, or common areas are altered, then each such altered element, space, feature, or area shall comply with the applicable provisions of the ADA.
- To the maximum extent possible, handicapped accessibility should be included in design, with the exception of some test areas where only able-bodied civilians can work.

##### **4.3 Military Exclusions**

- As a goal, Robins AFB will strive to provide adequate accessibility to all facilities regardless of the military exclusions granted by the USAS in Section 4.1.4.

## **5.0 Base Comprehensive planning**

*Careful and proper planning is critical to successful architectural compatibility.*

### **5.1 Facility Siting**

- Proper facility sitting in accordance with the Robins AFB land use plan is critical to ensure that every effort is made to avoid incompatible land usage. Through the base's Facility Board, the Air Logistics Center Commander will approve all sitting requests for new construction.

### **5.2 Area Development Plans (ADP)**

- When proposed construction requires planning beyond the limits of a single facility, designers should pursue the creation of area development plans in order to facilitate thoughtful planning of the relationship facilities have with one another.

### **5.3 Air Installation Compatibility Use Zone (AICUZ)**

- The Robins AFB study provides an assessment of noise levels, and statistical analysis to determine aircraft Accident Potential Zones (APZ). The goal of the study is to provide protection of the public and compatible development adjacent to the airfield.
- Designers shall pay careful attention to the noise contours of the study so as to provide protection of the public and compatible development adjacent to the airfield.

### **5.4 Joint Land Use Study (JLUS)**

- Robins AFB's relationship with the surrounding communities outside the base limits cannot be overlooked. This study provides a comprehensive assessment of the compatibility of the base's land use and its positive or adverse impact on adjacent communities in central Georgia.

### **5.5 The Base Comprehensive Plan**

- The Base Comprehensive Plan is on the Robins AFB Web at [www.gis.robins.af.mil](http://www.gis.robins.af.mil). The plan features detailed narratives and figures (maps). There are four primary categories: (1) Constraints and Opportunities; (2) Land use; (3) Infrastructure; and (4) Capital Improvements. New projects should be compatible with the comprehensive plan.

## **6.0 Architectural Finishes**

*Careful and consistent selection of construction materials and finishes is the most critical element of architectural compatibility.*

### **6.1 Metal**

- Metal siding is used extensively in most hangar and industrial facility construction. All metals shall be factory-finished with the manufacture's standard paint colors to match the Robins AFB standard paint scheme as closely as possible.

### **6.2 Concrete**

- Although precise concrete elements provide an acceptable accent to masonry construction, concrete should be avoided as an entire architectural finish.

### **6.3 Brick**

- Brick is the desired architectural finish throughout all non-flightline districts at Robins AFB due to its low maintenance needs and durability. All bricks shall be laid in a running bond except accent elements.
- Design basis for the Robins AFB standard brick is Red Mattex manufactured by Boral Bricks, Inc., Burns Division; or equal approved by the Base Architectural Compatibility Manager.
- Designers shall give careful attention to matching both brick and mortar color for all maintenance and repair projects to assure compatibility with existing facilities.
- Mortar color to be used with the standard Red Mattex should normally be gray. Colored mortar for accent purposes may be used if approved by the Architectural Compatibility manager.

### **6.4 Concrete Masonry Unit(s) (CMU)**

- Concrete masonry units are an acceptable and common building material at Robins AFB. Standard 8- by 12- by 16-inch CMUs shall be laid in a running bond and are acceptable with the following finishes:

*Smooth*

*- Standard smooth-finished CMUs are also acceptable when specified to be painted in accordance with the base color scheme or when selected with the inherent color to match the design basis shown below.*

- Design basis for CMUs shall be Blue Circle, Williams Brothers, Inc., IVORY 7L, or equal approved by the Base Architectural Compatibility Manager. All mortar color shall match the CMU color.

#### 6.5 Exterior Insulation Finish System (EIFS)

- When compatible with the base standard colors, use of EIFS products such as Dryvit, Synergy, and Durock are acceptable to accents to masonry construction.
- This product shall not be designed to grade. Brick wainscots provide a more desirable and durable alternative.

#### 6.6 Paint

- Industrial and Commercial: All painting shall conform to the following color standards.

##### Color Scheme 1

Base Color  
Robins 42



Main Walls  
Downspouts  
Vents/Louvers

Contrast Color  
Robins 62



Standing Seam  
Roofs  
Meta Fascia  
Gutters  
Doors/Door Frames

Accent Colors  
Robins 68  
Robins 48



Hangars  
Other Buildings  
Contrast Colors  
for  
Large  
Buildings  
Option for Sm  
Doors  
Transformers

Highlight Color  
Devoe 1UM21A  
Garrison





Handrails  
Lamp Posts

##### Exempt Buildings

300	301	541	542	545	547	551	552	553	557	560	591	593
594	595	Museum										

- Officers Club and Conference Center: Because of the historical nature at the Officer's Club and the architectural style of it and the Conference Center, those facilities should be painted white.

- Housing: Housing paint colors shall be a combination of these pastel and accent color combinations randomly dispersed throughout the units. The Turner Park housing units provide the best example of these standards. Historical houses and those adjacent to the Officer's Club area are to be painted white to provide compatibility in this area.

<b>Siding</b> SW-2079 Avenue Tan 	<b>Color Scheme 1</b> <b>Trim, Soffits, &amp; Posts</b> SW White 	<b>Louvers and Doors</b> SW-2259 Dense Forest 
<b>Siding</b> SW-2074 Fence Post White 	<b>Color Scheme 2</b> <b>Trim, Soffits, &amp; Posts</b> SW-White 	<b>Louvers and Doors</b> SW-2301 Farmhouse BGY 
<b>Siding</b> SW-2114 Gris 	<b>Color Scheme 3</b> <b>Trim, Soffits, &amp; Posts</b> SW-White 	<b>Louvers and Doors</b> SW-2118 Gunmetal Grey 
<b>Color Scheme 4</b> Color scheme 4 is all white		



## **7.0 Roofing**

Roofing plays a significant role in the visual integrity of architectural compatibility at Robins AFB. Past maintenance problems with built-up roofing must be avoided. Careful attention must be paid to compliance with the current Air Force policy for sloped roof conversion.

### **7.1 USAF Sloped Roof Policy**

- HQ USAF has published policy directives for the conversion of flat roofs to sloped. This policy authorizes conversion of built-up roofs to sloped roofs provided.
  - The existing roof needs to be replaced due to its deteriorated condition.
  - No functional space is added to the facility.
  - The useful life of the facility exceeds the life of the roof system selected.
  - The selection of the sloped roof system is justified as the most economical method based on a life-cycle economic analysis.

### **7.2 Built-Up Roofing (BUR)**

- BUR shall be avoided whenever possible in all forms of construction of new facilities.
- In some instances of less significant application of BUR, such as in military family housing (District 4), repair of the existing roof type is practical and acceptable under the Base Architectural Compatibility Standards. Also, existing industrial facilities may be reroofed with a BUR when metal roofs are not economical or practical.

### **7.3 Roof-Top Equipment**

- If at all possible, placement of roof-top mechanical and utility equipment shall be avoided. However, if no other viable alternative exists, the designer shall consider concealment of this equipment through color or screening compatible with the existing facility.

### **7.4 Standing Seam Metal Roofs**

- The base standard of a dark bronze standing seam metal roof with a 3:12 slope is recommended for use as much as possible basewide and must be used throughout District 2. Lower sloped roofs may be used, depending on the application, with the approval of the project architect.

### **7.5 Low Slope Roofs**

- Light colored roofs provide significant heat radiation benefits in most situations. They should be considered by the designer in industrial areas and/or where the roof has limited or no visibility from the ground. Obtain approval from Base Architectural Compatibility manager.

## **8.0 Exterior Signage**

Consistent, compatible signage throughout the base can serve as an excellent tool to visually tie together various built and natural environments. Every effort must be made to reduce unnecessary or outdated signs which provide visual clutter and serve only to adversely affect architectural compatibility efforts on this base.

### **8.1 Standard Facility Signs**

- Exterior facility signs at Robins AFB are the sole responsibility of the Base Sign Manager and the 78 CEG sign shop. The Robins AFB Sign Standards have been developed in accordance with AFPAM 32-1099, Sign Standards, and the Standards of the Zip + 4 Program Action Directive (PAD) 91-1. Types B1 and B2 are modified to replace the logo at the top with the building number.
- TYPE B1 - Facility Sign (upper echelon)
- TYPE B2 - Facility Sign (lower echelon)
- TYPE B4 - Building Entry Sign
- TYPE D2 - Directional Sign
- Traffic Signs - Follow the Manual on Uniform Traffic Control Devices

### **8.2 Facility Identification**

- Given the approval of the Base Sign Manager and the Architectural Compatibility Manager, lettering will be allowed on the exterior of prominent facilities. Size, type and color of lettering will be approved on a case by case basis.

### **8.3 Logos and Supergraphics**

- Painted logos and racing stripes are no longer acceptable. The Base Sign Manager will strive to reduce any existing supergraphics and self-help organizational logos.

### **8.4 Special Signs**

- Special Signs will be permitted for unique situations subject to the approval of the Base Architectural Compatibility Manager.

## **9.0 Traffic Considerations**

*Parking problems, curbing details, landscaping*

### **9.1 Parking**

- Parking has traditionally been a problem at Robins AFB.
- 78 SPS is the authority for assigning reserved parking spaces. Requests for reserved parking should be submitted to them along with justification and organization point-of-contact.
- Parking stall width should be determined by the use of the lot. For example parking spaces for BX or Commissary lots where drivers have to deal with packages should be wider than employee parking with low turnover. In general, spaces should not be smaller than 9 feet wide.
- Handicapped parking spaces should match the required standard from the UFAS or the ADA, whichever is predominant.

### **9.2 Curbing Standards**

- 78 CEG/CEZ has developed a Curbing Plan to improve the Base infrastructure.
- Base standard is a 24-inch curb and gutter unless existing site conditions require compatibility with existing curb and gutter of a different size. Curbs should normally not be painted. In special circumstances the curbs may be painted dark brown or yellow depending on the visibility requirements. Obtain approval from the architectural compatibility manager.
- Curbing standards will conform to the handicapped accessibility requirements defined by UFAS or the ADA, whichever is predominant.

## **10.0 Landscaping**

Landscape themes include planting treatments, site elements, barriers and screening, pedestrian environments, and open space; all of which contribute to the environment and visual quality of Robins AFB.

### **10.1 Recommended Plantings**

- All landscape plantings shall conform to the list of Robins AFB Recommended Plantings. This list is available in the Base Facility Standards.

### **10.2 Site Elements**

- Consistency is the most critical factor in the selection of various site elements such as benches, trash receptacles, lighting fixtures, small shelters, and street furniture.
- Designers shall pay considerable attention to maintaining compatibility with similar site elements within a particular architectural district on Robins AFB. When no true compatibility exists, the designer shall coordinate material selection with the Base Architectural Compatibility Manager.
- When practical, a dark bronze anodized finish shall be selected for all site elements on base.

### **10.3 Fencing and Screening**

- Comprehensive screening considerations are a major element in strengthening the visual image of this base. Properly designed barriers dramatically improve the visual appearance of both facilities and the base as a whole.
- Three screening types are acceptable to reduce visual clutter on this base. Consistency and durability are critical. Well-designed screens should not draw attention to themselves and should be used at a minimum. Screening shall be considered/incorporated into the design of facilities to address the following types of items: Dumpsters, exterior mechanical and electrical equipment, storage/service areas, etc.

*Brick Fencing*

- Selection of brick must be compatible with the standards defined in Section 6.0 of this document.
- Brick fencing may be solid



Brick Fence

Brick fence to have limestone or exposed precast coping. Height not to exceed 7'-0". All bricks shall be laid in a running bond.

- or a combination of brick and wrought iron.



Wrought Iron Fence & Gate

Pacific style fencing. Hot dipped uniform zinc - Black.

*Metal fencing*

- Provide metal fencing in the "shadow box configuration.
- This is the preferred fencing method in all except special situations requiring brick.



Privacy Paneling blends with the surrounding environment or nearby buildings while providing privacy, security and screening. Base color is Robins 48.in the Industrial Flightline and Robins 62 elsewhere.

*Vinyl Fencing*

- White vinyl fencing may be acceptable in residential applications.

*Chain Link Fencing*

- This type of fencing is only acceptable when required by security regulations. When required, screen with shrubbery. If not possible, provide fabric screening attached to the fence.

#### **10.4 Bollards**

- Provide bollards where required to protect structures or equipment.
- Bollard shall be 6" schedule 40 steel pipe filled with concrete. Color shall be Robins 48 with a 4" wide painted strip 4" from the top. The strip shall be Robins 68 with reflective beads incorporated into the point.

## 10.5 Gazebos

- In the past, there has been a proliferation of gazebos erected on Robins Air Force Base without a coherent architectural style, color coordination and, in some cases, site approval. Uniform standards are needed to ensure these structures enhance our facilities rather than detract from them.
- All gazebos erected on Robins Air Force Base must be approved by the Base Civil Engineer. Requesters must submit to the Base Civil Engineer a proposed site plan layout showing the distance from existing buildings and concept drawings of the proposed gazebo for approval. Requests should be submitted to 778 CES/CEZP.
- Gazebos will be normally octagonal in shape, non-ornamental in style, and constructed of quality materials. The gazebo will be constructed of a premanufactured kit of cedar or aluminum. Aluminum will be prefinished anodized dark bronze and cedar will be stained.
- The screen porch behind dormitory 792 is a good example of the application of painted aluminum in conjunction with wood decks.



## 11.0 Interior Design Standards

Well-coordinated, neutral color schemes hold up over longer periods of time. Good design extends beyond aesthetics to provide durability, acoustical and energy-saving value, as well as morale enhancement for the inhabitants.

*The goal is to ensure interior appearance of each facility is based on carefully established professional design standards rather than arbitrary personal preferences.*

AFMC Facility Quality Program

### 11.1 Interior Finishes

- All permanent finishes (ceramic tile, counter tops, vinyl tile, etc.) shall be neutral colors. Brighter accent colors may be used only in small areas; trendy patterns and colors shall be avoided.
- Ease of maintenance should be foremost in the selection of interior finishes. Patterned carpet hides soil and traffic paths; semi-gloss or egg-shell finish paints are washable; white or pastel shades should be used only in low traffic areas, etc. corner guards and chair rails should be used to protect wall coverings.
- Type II commercial vinyl wall coverings are recommended for all areas. Neutral colors and textures are referred to patterns. Wall covering shall be used below a chair rail with paint above.
- All suspended acoustical ceilings shall be a 2-foot by 2-foot grid and tile to reduce the possibility of sagging. Recessed grid with drop-edge tile shall be used as the standard.

### 11.2 Carpet

- USAF carpet policy requires a minimum weight of 26 ounces, level loop, and patterned (multi-colored and loop graphics) of 100 percent continuous filament nylon (Type 6 or 6.6)
- Cut pile or solid colors may be used for borders in executive offices or distinguished visitors' (DV) suites only.

## **12.0 Self-Help Program**

The 78 CEG Self-Help Store provides Military Family Housing customers with the resources necessary to complete consistent and successful in-house construction projects. The self-help program is dedicated to providing housing with professional materials in a timely manner with outstanding support to accomplish many types of construction projects.

### **12.1 Self-Help Store**

- The self-help store provides military family housing occupants with many resources for use with both interior and exterior construction projects.
- Housing Occupants can purchase quality construction materials and various landscaping items to improve the residential areas within District 4 of Robins AFB. Furthermore, all customers can sign out tools at no expense.

### **13.0 Energy Conservation**

Energy costs account for a significant portion of the Defense Budget. In light of this, the Department of Defense (DOD) has established rigorous energy cost reduction objectives for all subordinate agencies. Meeting these objectives requires the scrutiny of all elements of our operations to determine areas of potential improvement. Architectural design of energy-efficient facilities is one such area.

#### **13.1 Base Energy Manager**

- In accordance with DOD objectives to reduce energy consumption, Robins AFB has assigned a Base Energy Manager to focus energy conservation efforts.
- The Base Energy Manager is responsible for creating and implementing the various energy plans which follow

#### **13.2 Energy Annex to the AFMC Energy Plan**

- This annex outlines the Robins AFB Energy Program, defines its objectives, and describes future alternatives. The energy program addresses goals and initiatives taken and proposed to reduce energy consumption and cost and to improve energy efficiency.

#### **13.3 WR-ALC Energy Strategic Plan**

- This plan identifies specific action items recommended by the Base Energy Manager, which will reduce energy consumption over time. The plan pursues items over the short term (1 year), medium term (2 years), and long-range objectives over a 5-year period.

#### **13.4 Heating and Cooling Policy**

- Heating and cooling are significant energy cost drivers for Robins AFB and the WR-ALC. Heating and cooling costs account for approximately 25-30 percent of the WR-ALC \$17 million energy bill. This plan describes objectives necessary to reduce energy costs attributed to heating and cooling.

#### **13.5 Workplace Lighting Policy**

- Lighting plays a major role in the effective accomplishment of the WR-ALC mission. Without sufficient lighting, our productivity and quality of work suffers. On the other hand, excessive lighting, such as operating lights during non-duty hours, wastes our energy dollars. This policy addresses the present, with the objective of curbing waste, and the future, with the objective of improving lighting efficiency.

## **14.0 References**

*This document is intended to provide references to specific details critical to successful architectural compatibility at Robins AFB.*

### **1.0 Executive Summary**

- AFMC Facility Quality Program
  - AFMC Commander's Desktop Guide to Excellence in Base Operating Support (BOS)

### **2.0 Architectural Districts**

- AFMC Facility Quality Program
- Architectural and Landscape Design Criteria for Joint STARS Mission Beddown (ACC)

### **3.0 Historic Preservation**

- The Secretary of the Interior Standards for Rehabilitation and Guidelines for Rehabilitating Buildings

### **4.0 Handicapped Accessibility**

- Uniform Federal Accessibility Standards
- The Americans with Disabilities Act (ADA)

### **5.0 Base Comprehensive Planning**

- Robins AFB Base Comprehensive Plan
- Air Installation Compatibility Use Zone (AIZUZ)
- Joint Land Use Study (JLUS)

### **6.0 Architectural Finishes**

- Boral Bricks, Inc., Burns Division  
P.O. Box 4787 Macon, GA 31208  
(912) 743-8621

### **7.0 Roofing**

- Air Force Sloped Roof Policy

### **8.0 Exterior Signage**

- Robins AFB Sign Standards
- AFPAM 32-1099 Sign Standards

**9.0 Traffic Considerations**

- Robins AFB Curbing Plan
- Manual of Uniform Traffic Control Devices (MUTCD)

**10.0 Landscaping**

- Robins AFB Base Facility Standards

**11.0 Interior Design**

- AFI 32-1024, Standard Facility Requirements
- Air Force Engineering Technical Letter (ETL) 90-2, General Policy for Prewired workstations and Systems Furniture
- NFPA 101 Code for Safety to Life from Fire in Buildings and Structures
- Carpet Standard

**12.0 Self-Help Program**

**13.0 Energy Conservation**

- Energy Act of 1992
- DOD Energy Manager's Handbook
- Federal Relighting Initiative (FRI)
- The Energy Star Program
- ASHRAE/IESNA Standard 90.1-1999, Energy Standard for Buildings except Low-Rise Residential Buildings
- ASHRAE 100-1995